

Attachment B

Selected Drawings – Group 1

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REV	DATE	DESCRIPTION	APP
1	20/02/2022	DEVELOPMENT APPLICATION	MS

- Legend
- EXISTING FABRIC
 - EXISTING FABRIC TO BE REMOVED
 - FLOOR OR ROOF TO BE REMOVED
 - EXTENT OF NEW WORKS
 - NEW STEEL CONNECTIONS FOR SEPARATING STRUCTURE OF BUILDING

APP MS



CLIENT:
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ARCHITECT:
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PROJECT:
#2021002
**DARLINGHURST
COLLECTION**

DRAWING TITLE:
**GROUP 1 GROUND FLOOR
RESTORATION PLAN**

SHEET NUMBER:
AR-DA-1-1001

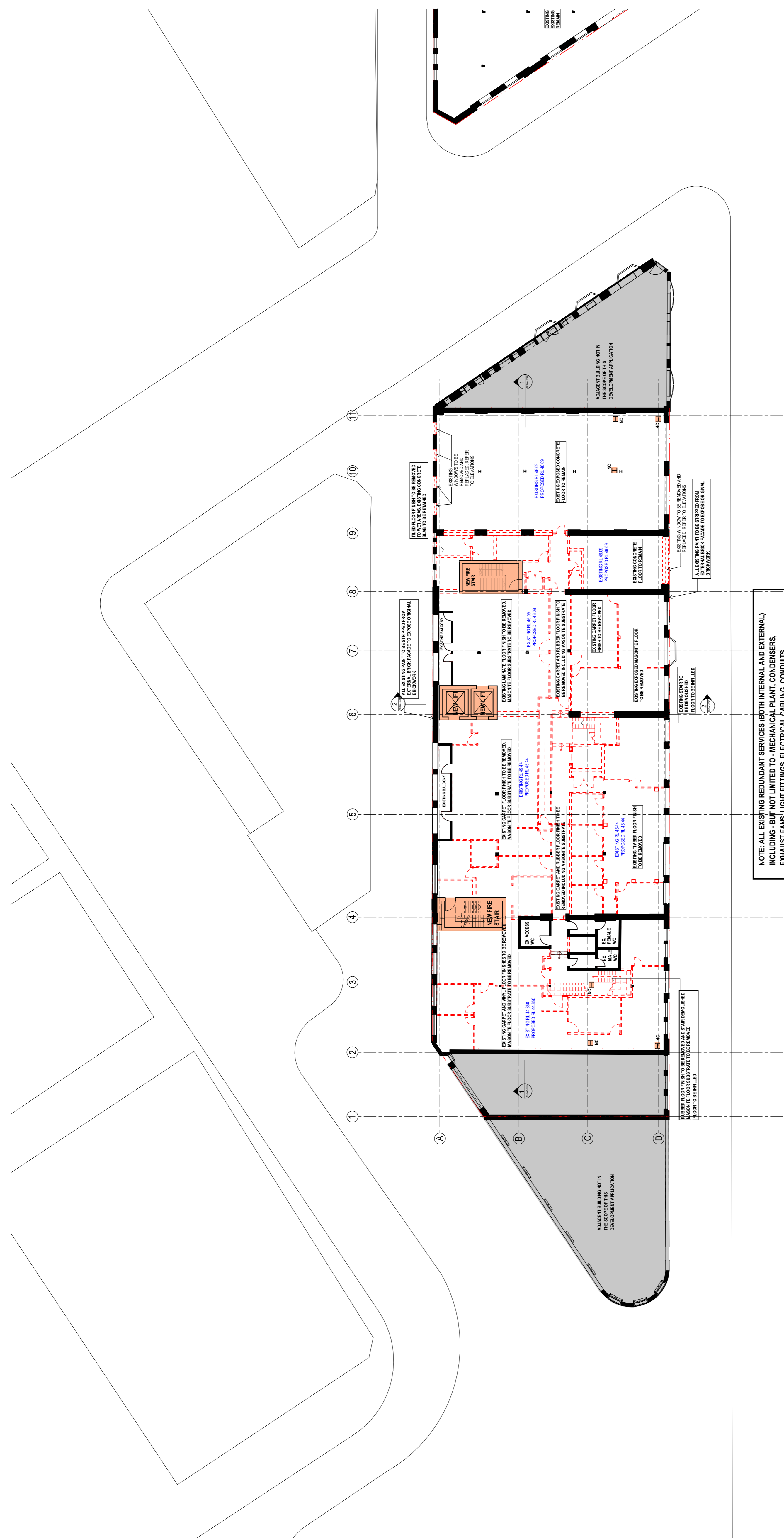
REV:
2

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REV	DATE	DESCRIPTION	APP
3	20/02/2022	DEVELOPMENT APPLICATION	MS

- Legend
- EXISTING FABRIC
 - EXISTING FABRIC TO BE REMOVED
 - FLOOR OR ROOF TO BE REMOVED
 - EXTENT OF NEW WORKS
 - NEW STEEL COLUMN REQUIRED FOR SUPPORTING STRUCTURE OF BUILDING



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PROJECT:
#2021002
**DARLINGHURST
COLLECTION**

DRAWING TITLE:
**GROUP 1 LEVEL 1
RESTORATION PLAN**

SHEET NUMBER:
AR-DA-1-1002

REV:
2

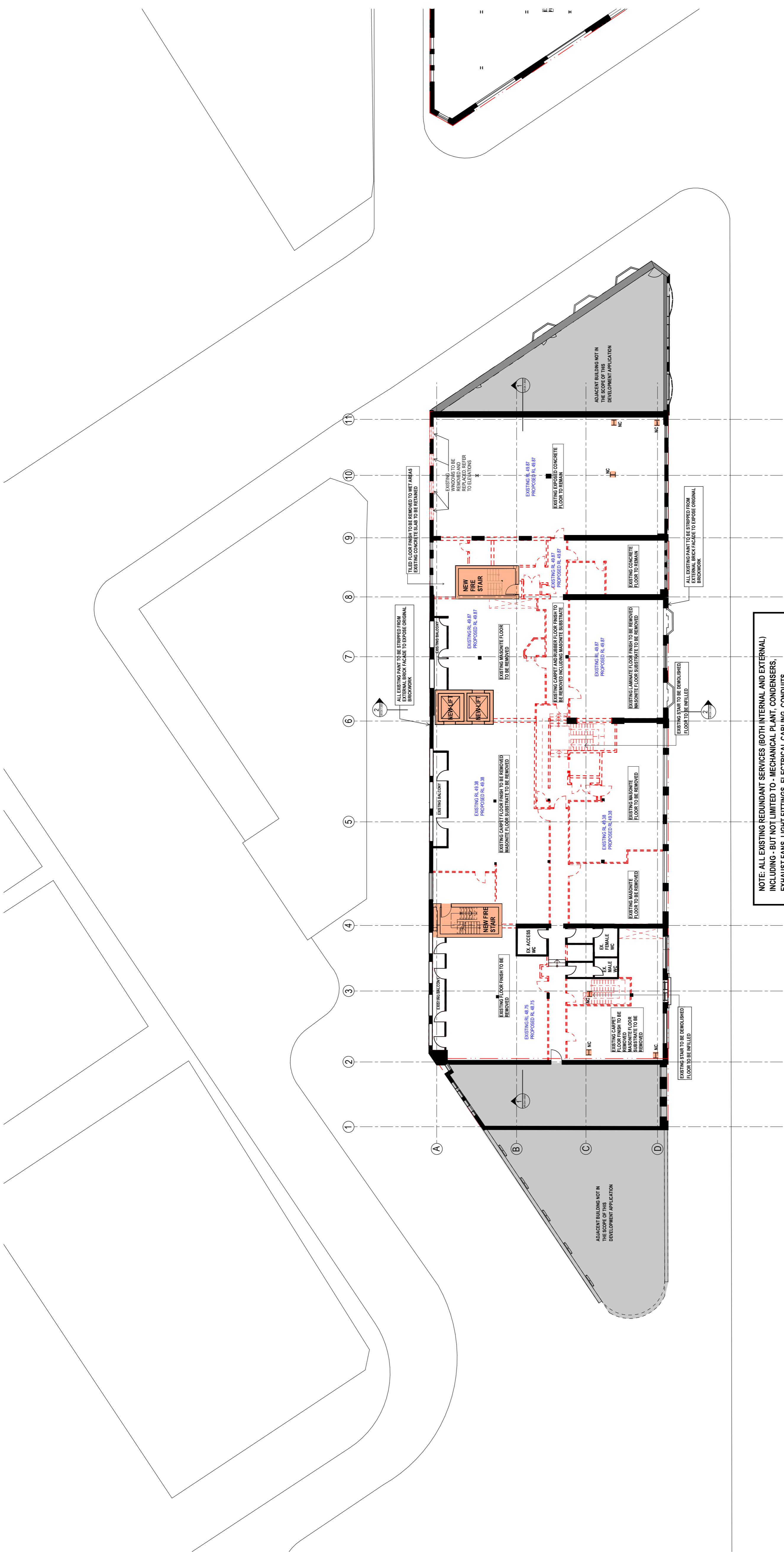
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REV	DATE	DESCRIPTION	APP
1	24/02/2022	DEVELOPMENT APPLICATION	MS
2	18/02/2022	DEVELOPMENT APPLICATION	MS

- Legend
- EXISTING FABRIC
 - EXISTING FABRIC TO BE REMOVED
 - FLOOR OR ROOF TO BE REMOVED
 - EXTENT OF NEW WORKS
 - I NC** IDENTIFIED COLUMN REQUIRED FOR SEISMIC STRENGTHENING OF BUILDING



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 ALL FIRE SAFETY SYSTEMS INCLUDING, BUT NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTING, SPRINKLERS, SMOKE/THERMAL DETECTORS, EWS/IBOWS, FIRE INDICATOR PANELS, HYDRANTS, FIRE SERVICES PUMPS AND BOOSTERS ARE TO BE RETAINED AND REMAIN OPERATIONAL.

NOTE: ALL ORIGINAL JOINERY - INCLUDING BUT NOT LIMITED TO - SKIRTINGS, ARCHITRAVES, MOULDINGS, DADO RAILS AND CORNICES, WHICH ARE REMOVED AS PART OF WALL/CEILING DEMOLITION ARE TO BE RETAINED ON SITE FOR RE-USE IN FUTURE TENANTS' FITOUT WORKS

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PROJECT:
#2021002

**DARLINGHURST
COLLECTION**

DRAWING TITLE:
**GROUP 1 LEVEL 2
RESTORATION PLAN**

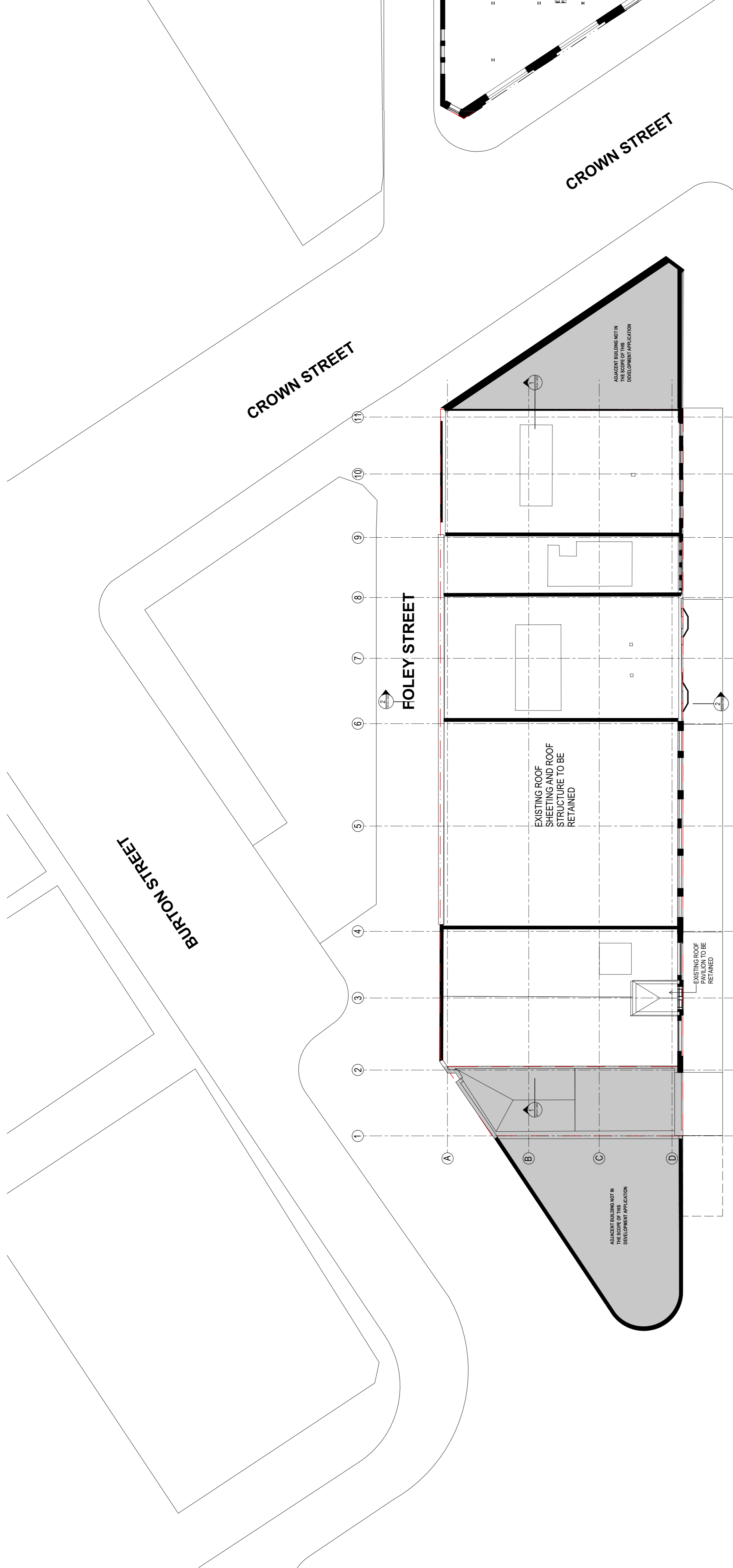
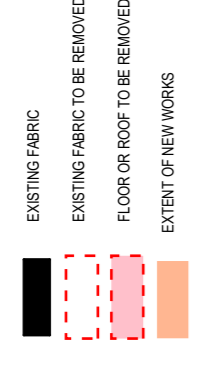
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REV: **2**

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REV	DATE	DESCRIPTION	APP
1	28/02/2022	DEVELOPMENT APPLICATION	MJS
2	16/02/2022	DEVELOPMENT APPLICATION	MJS



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NOTE: ALL ORIGINAL JOINERY, INCLUDING BUT NOT LIMITED TO, SKIRTINGS, ARCHITRAVES, MOULDINGS, DADO RAILS AND CORNICES, WHICH ARE REMOVED AS PART OF WALL/CEILING DEMOLITION ARE TO BE RETAINED ON SITE FOR RE-USE IN FUTURE TENANTS' FITOUT WORKS

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PROJECT: #2021002
 DARLINGHURST COLLECTION

DRAWING TITLE:
 GROUP 1 ROOF LEVEL RESTORATION PLAN

SHEET NUMBER: AR-DA-1-1004
 REV: 2

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REV	DATE	DESCRIPTION	APP
1	28/02/2022	DEVELOPMENT APPLICATION SUBMITTED	NUG
2		DEVELOPMENT APPLICATION APPROVED	NUG

LEGEND	
	EXISTING FABRIC
	EXISTING FABRIC TO BE REMOVED
	EXTENT OF EXISTING CEILING TO BE REMOVED REFER TO DETAIL NOTES ON SHEET DA-1-2002
	NEW STEEL COLUMN REQUIRED FOR ESBMC STRENGTHENING OF BUILDING
LEGEND - CEILING TYPES	
	EXISTING CONCRETE CEILING WITH NON-ORIGINAL CEILING
	EXISTING CONCRETE CEILING WITH NON-ORIGINAL CEILING NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING CONCRETE CEILING WITH NON-ORIGINAL CEILING NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING CONCRETE CEILING WITH NON-ORIGINAL CEILING NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING CONCRETE CEILING WITH NON-ORIGINAL CEILING NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING CONCRETE CEILING WITH NON-ORIGINAL CEILING NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING NON-ORIGINAL CEILING



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PROJECT: #2021002
DARLINGHURST COLLECTION

DRAWING TITLE:
GROUP 1 LOWER GROUND FLOOR RESTORATION RCP

SHEET NUMBER: **AR-DA-1-2000**
 REV: **2**

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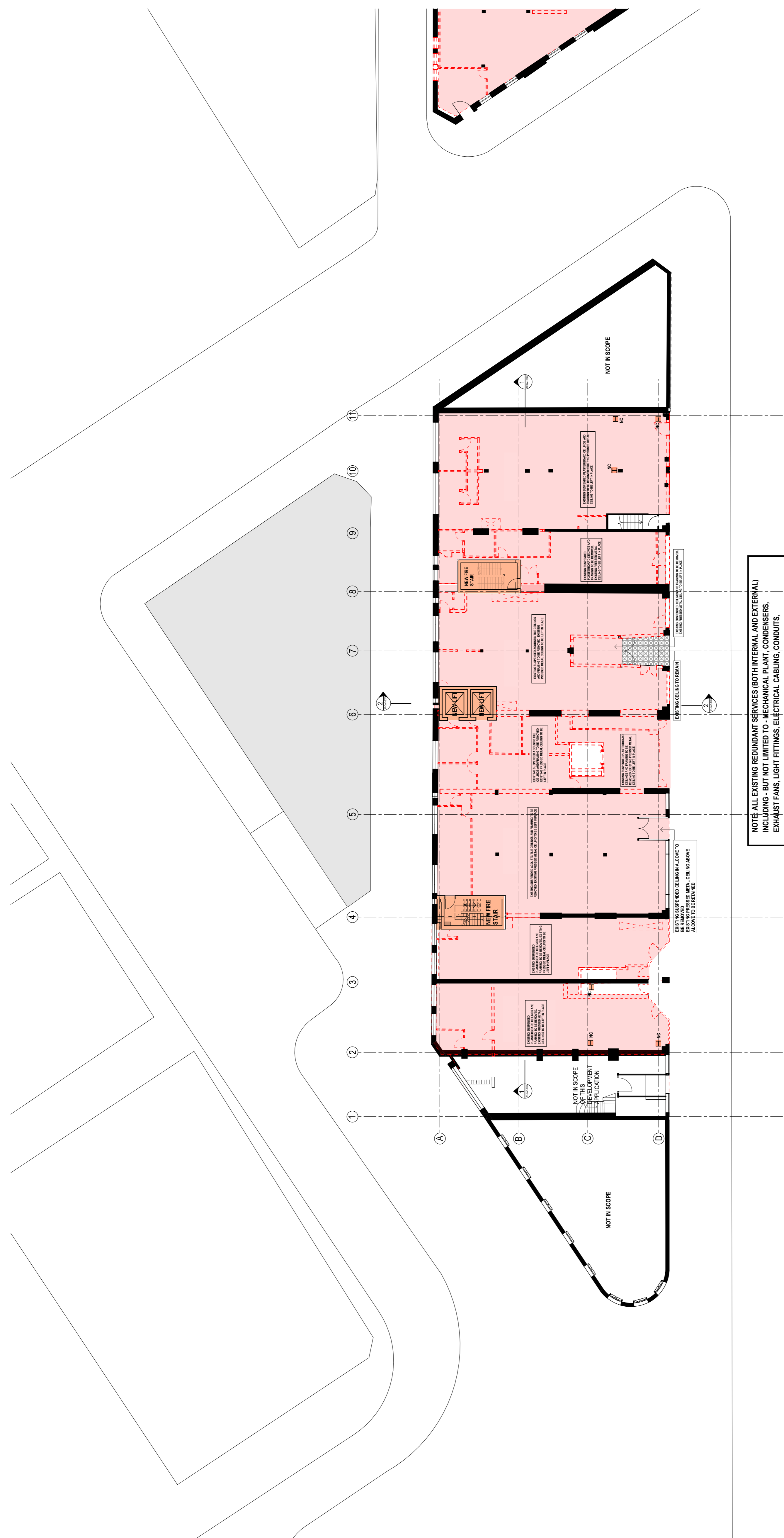
REV	DATE	DESCRIPTION	APP
1	26/02/2022	DEVELOPMENT APPLICATION	ING
2	08/02/2022	DEVELOPMENT APPLICATION	ING

REVISIONS
 NEW STEEL COLUMN REQUIRED FOR BEARING STRENGTHENING OF BUILDING

SYMBOL	DESCRIPTION
	EXISTING FABRIC
	EXISTING FABRIC TO BE REMOVED
	EXTENT OF EXISTING CEILING TO BE REMOVED - REFER TO DETAILED NOTES ON THIS SHEET

LEGEND - CEILING TYPES

	EXISTING CONCRETE/PLASTER/CEILING
	EXISTING GYPSONUM BOARD/PLASTER/CEILING
	EXISTING GYPSONUM BOARD/PLASTER/CEILING - NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING GYPSONUM BOARD/PLASTER/CEILING - NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING GYPSONUM BOARD/PLASTER/CEILING - NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING GYPSONUM BOARD/PLASTER/CEILING - NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING NON-CEILING CEILING



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PROJECT: #2021002
DARLINGHURST COLLECTION

DRAWING TITLE:
GROUP 1 GROUND FLOOR RESTORATION RCP

SHEET NUMBER: **AR-DA-1-2001**
 REV: **2**

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REV	DATE	DESCRIPTION	APP
1	26/02/2022	DEVELOPMENT APPLICATION	NUG
2	16/03/2022	DEVELOPMENT APPLICATION	NUG

NEW STEEL COLUMN REQUIRED FOR SEISMIC STRENGTHENING OF BUILDING

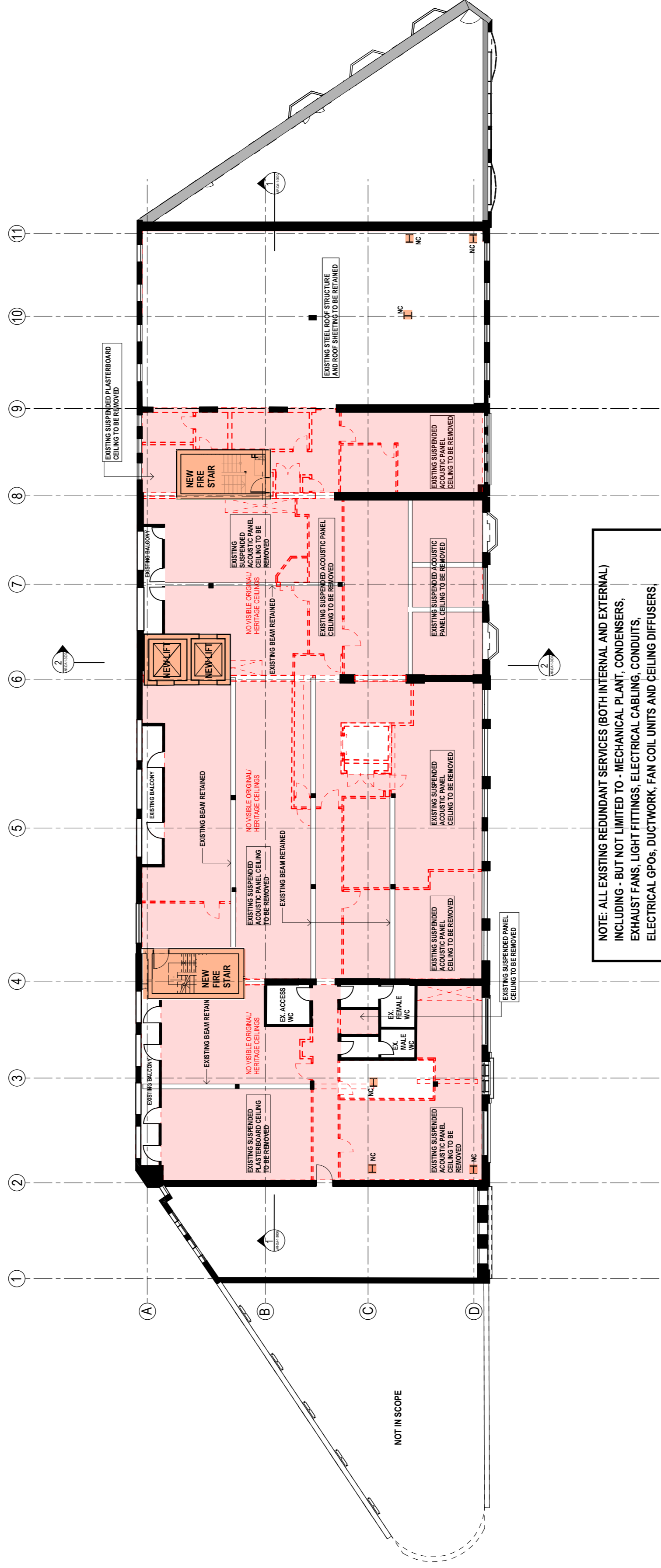
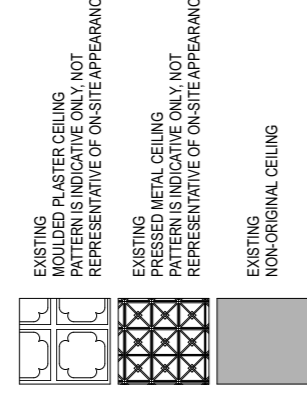
EXISTING FASC

EXISTING SUSPENDED PLASTERBOARD CEILING TO BE REMOVED

EXISTING FASC TO BE REMOVED

EXTENT OF EXISTING CEILING TO BE REMOVED. REFER TO DETAILED NOTES ON SHEETS 201-208

LEGEND - CEILING TYPES



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CLIENT: TOGA

ARCHITECT:

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PROJECT:
#2021002

**DARLINGHURST
COLLECTION**

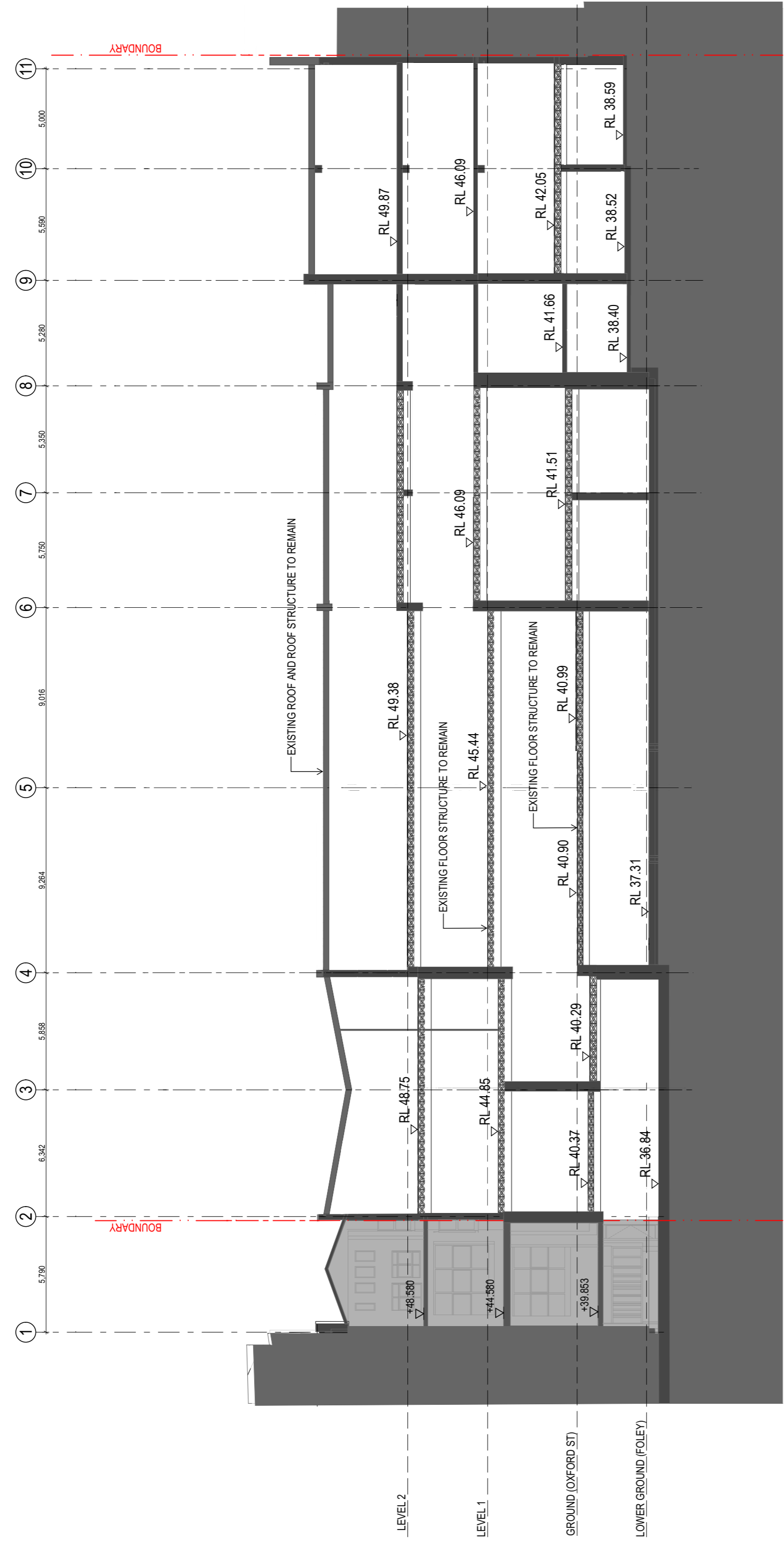
DRAWING TITLE:
GROUP 1 LEVEL 2
RESTORATION RCP

SHEET NUMBER: AR-DA-1-2003
REV: 2

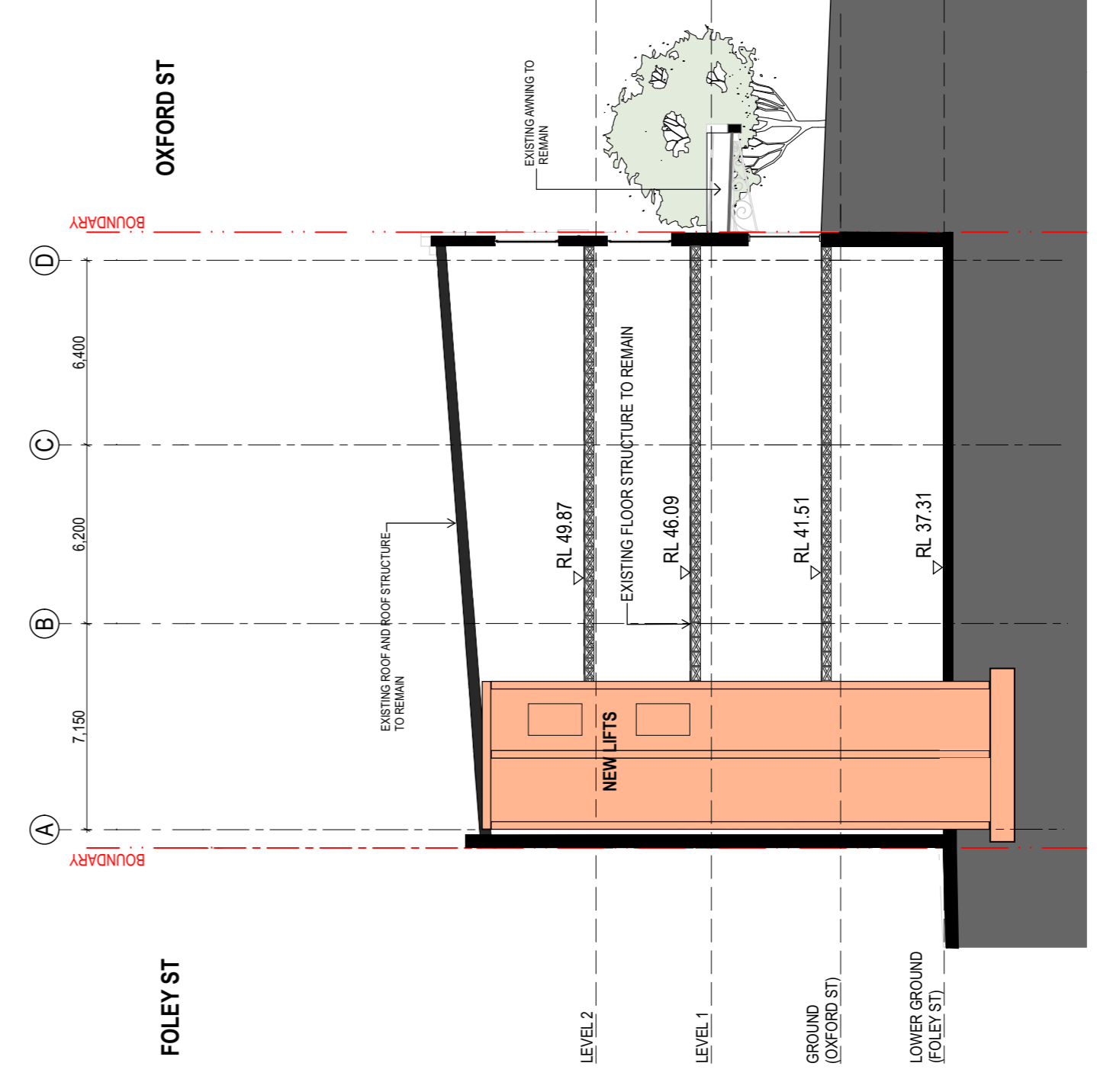
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REV	DATE	DESCRIPTION	APP	NIG
1	25/02/2022	DEVELOPMENT APPLICATION		



1 SECTION Group 1: Long Section
 1:200



2 SECTION Group 1: Short Section
 1:200

CLIENT:
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PROJECT:
#2021002
DARLINGHURST
COLLECTION

DRAWING TITLE:
GROUP 1
SECTIONS

SHEET NUMBER:
AR-DA-1-3000

REV: **1**

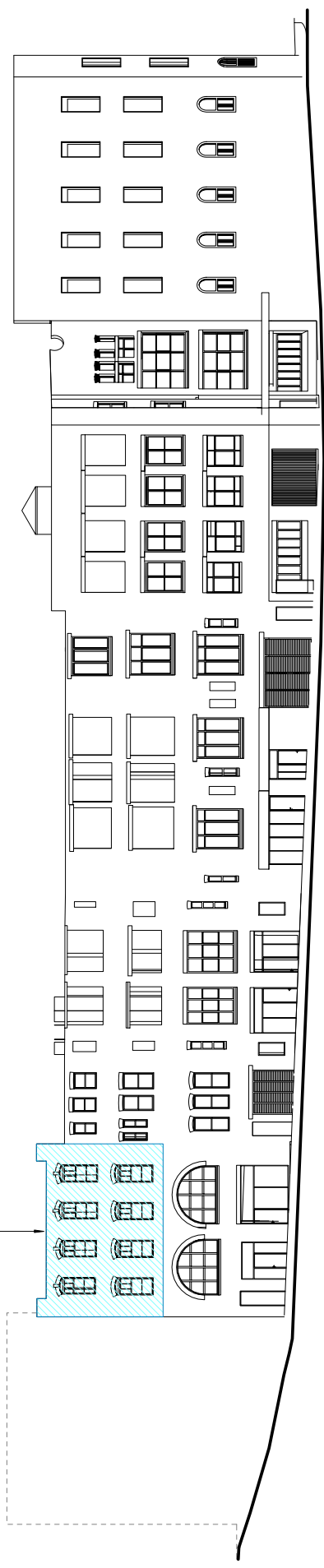
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- TYPICAL FACADE COMMENTS**
- PAINT STRIPPING TO FACADES
 - REMOVAL OF REDUNDANT FACADE SERVICES
 - REPOINTING, REPAIR AND REPLACEMENT OF STONEMWORK AND BRICKWORK



GROUP 01 - OXFORD STREET ELEVATION (SOUTH)
 1:200

REMOVE AND REPLACE EXISTING ALUMINIUM WINDOWS WITH DOUBLE-HUNG TIMBER FRAMED WINDOWS CONSISTENT WITH ORIGINAL WINDOWS OF THE CORRESPONDING OXFORD STREET FACADE



GROUP 01 - FOLEY STREET ELEVATION (NORTH)
 1:200

- LEGEND:**
- WINDOW MODIFICATIONS
 - NEW SHOPFRONTS
 - INTERPRETED SHOPFRONTS
 - REINSTATED SHOPFRONTS
 - CONSERVED SHOPFRONTS

REV	DATE	DESCRIPTION	APP	NO
1	25/02/2022	DEVELOPMENT APPLICATION		

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PROJECT: #2021002
 DARLINGHURST COLLECTION

DRAWING TITLE:
 GROUP 1 ELEVATIONS NORTH & SOUTH
 SHEET NUMBER: AR-DA-1-5000
 REV: 1

**PRELIMINARY
 NOT FOR CONSTRUCTION
 DEVELOPMENT APPLICATION**

Group 1 Shopfronts

58-60 Oxford Street

Shopfront to be

- Fitted with clear glazing including the highlight windows above the transom rails, the shopfront below the transom rail and the doors.
- No part of any shopfront below the street awnings is to be used for air intake or for air exhaust
- All tiling of the stallboards and the adjacent piers to be of a small format, either 75 x 150mm or 100 x 100mm, consistent with the period of construction of the building 1911-1912.
- The existing shopfront transoms to be investigated as to any original components remaining behind the overcladding. Should any original components be uncovered, they must be retained and conserved, and the design of the shopfront modified to suit.
- An investigation is to be completed and a full photographic survey undertaken
- The width of the openings at the street frontage into the two recessed entry porches to be narrower than proposed, so as to be the same width as shown in historic drawings.
- Any original highlight framing components uncovered to be retained and the design to be modified to be consistent in detailing and materiality
- The structural piers on either side of the shopfront and the stallboards to be tiled.

62-64 Oxford Street

Shopfront to be

- Fitted with clear glazing including the highlight windows above the transom rails, the shopfront below the transom rail and the doors.
- No part of any shopfront below the street awnings is to be used for air intake or for air exhaust
- All tiling of the stallboards and the adjacent piers to be of a small format, either 75 x 150mm or 100 x 100mm, consistent with the period of construction of the building 1911-1912.
- The early shopfront is to be retained and conserved in situ
- Ensure all components are conserved, including the steel framing, stallboards, and the marble threshold and tiling of the entry porch floor. Should adequate evidence be found of the original arrangement of the steel components, reconfigured to match.
- To ensure transparency into the tenancy, remove paintwork from the existing highlight glazing, or replace with clear glazing.
- The stallboards and piers are to be investigated and to their original finish, and the ceiling over the entry investigated as to whether an original ceiling is retained above the current ceiling and conserved and exposed if found. The investigation will be completed with a photographic survey

66 Oxford Street

Shopfront to be

- Demolished and replaced.
- The proposed new glazed assembly is to be of high-quality framing, either steel or timber.
- The profile of the piers to either side is to remain as per the original, with new walling slightly recessed by 120mm minimum. No aluminium framing to be installed.

68-70 Oxford Street

Shopfront to be

- Fitted with clear glazing including the highlight windows above the transom rails, the shopfront below the transom rail and the doors.
- No part of any shopfront below the street awnings is to be used for air intake or for air exhaust
- All tiling of the stallboards and the adjacent piers is to be of a small format, either 75 x 150mm or 100 x 100mm, consistent with the period of construction of the building 1911-1912.
- Retain the configuration of the shopfronts that date from 1912
- The shopfront glazing between the structural piers to be replaced and is to include highlight glazing above transom rails to the configuration evident in historical drawings.
- Proposed new shopfronts to be framed in timber, steel, brass or monel metal ties, consistent with the period of the building.
- The early pressed metal ceiling within the recessed entry to be retained and conserved.
- The structural masonry piers and base walling to be tiled.
- The recent tiles to the pavement of the recessed entry are to be removed and replaced with new small format tiles, consistent with the period of the building.

Group 1 Shopfronts

72 Oxford Street

Shopfront to be

- Fitted with clear glazing including the highlight windows above the transom rails, the shopfront below the transom rail and the doors.
- No part of any shopfront below the street awnings is to be used for air intake or for air exhaust
- All tiling of the stallboards and the adjacent piers to be of a small format, either 75 x 150mm or 100 x 100mm, consistent with the period of construction of the building 1911-1912.
- Remove the existing shopfront and tiling to the piers and base walling.
- New shopfront to be installed to a configuration consistent with the historic evidence, with a central recessed entry, shopfronts above stallboards, and highlight glazing above the transom rails, consistent with historical evidence including original 1912 drawings and the 1916 historic photograph.
- The proposed new shopfront to be framed in timber, steel, brass or monel metal, consistent with the period of construction.
- The structural piers on either side of the shopfront and the stallboards to be tiled.

74-76 Oxford Street

Shopfront to be

- Fitted with clear glazing including the highlight windows above the transom rails, the shopfront below the transom rail and the doors.
- No part of any shopfront below the street awnings is to be used for air intake or for air exhaust
- All tiling of the stallboards and the adjacent piers to be of a small format, either 75 x 150mm or 100 x 100mm, consistent with the period of construction of the building 1911-1912.

Nos. 74 and 76 Oxford Street:

- To include the retention and conservation of the entry porch and stairs on the west side of No 74 Oxford Street and the associated brick pier between the porch and the shopfront at No 74, Oxford Street.
- Accordingly, the shopfront to be reduced in width.
- The proposed entries on the east sides of both Nos 74 and 76 to be recessed.
- Clear highlight glazing to be included above the transom rails
- New shopfronts to be framed in steel

Structural piers on either side of the shopfronts and the stallboards to be tiled.

CLIENT:

TOGA

ARCHITECT:

PLACE

S T U D I O

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PROJECT:

#2021002

DARLINGHURST

COLLECTION

DRAWING TITLE:

GROUP 1 SHOPFRONT
CONDITION DETAILS

SHEET NUMBER:

AR-DA-1-7000

REV:

1

DATE: 25/02/2022

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PRELIMINARY
NOT FOR CONSTRUCTION
DEVELOPMENT APPLICATION